

# RESIDENTIAL REMODEL FOR GRAYLING ON THE TUCK, LLC.

156 GRAYLING ROAD. CULLOWHEE, NORTH CAROLINA

## GENERAL NOTES:

1. THE PURPOSE OF THESE DRAWINGS IS TO ILLUSTRATED DESIGN INTENT IN CONJUNCTION. THESE ARE NOT ARCHITECTURAL CONSTRUCTION DOCUMENTS.
2. DO NOT SCALE DRAWINGS. ALL DIMENSIONS AND EXISTING CONDITIONS TO BE FIELD VERIFIED.
3. CLARIFICATIONS, INTERPRETATIONS, OR SUPPLEMENTAL INFORMATION SHALL BE PROVIDED BY THE DESIGN CONSULTANT UPON REQUEST OF THE CONTRACTOR.
4. VERIFY BUILDING LAYOUT IN FIELD PRIOR TO EXCAVATION & REVIEW WITH DESIGN CONSULTANT PRIOR TO PROCEEDING.
5. DRAWINGS AND ANY SPECIFICATIONS OR WRITTEN REPORT ARE COMPLEMENTARY. WHAT IS REQUIRED BY ONE PART OF THE DOCUMENTS SHALL BE CONSTRUED TO BE REQUIRE BY ALL ASSOCIATED OR RELATED ITEMS OF WORK.
6. ALL WORK SHALL BE PERFORMED IN FULL ACCORDANCE WITH APPLICABLE STATE AND LOCAL BUILDING CODES AND ORDINANCES.
7. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF ALL NECESSARY PERMITS, INSPECTIONS, TESTS, APPROVALS, AND SCHEDULES AND SECURE NECESSARY INSPECTIONS.
8. CONSTRUCTION SITE SHALL BE MAINTAINED IN A CLEAN, WORKMANLIKE ORDER. MATERIALS, TOOLS, AND EQUIPMENT SHALL BE STORED IN A SAFE AND SECURE FASHION. DEBRIS SHALL NOT BE LEFT TO INCUMBER THE SITE OR CREATE UNSAFE CONDITIONS. DEBRIS SHALL BE REMOVED FROM THE SITE ON A REGULAR BASIS. CONTRACTOR IS TO PROTECT ANY CONSTRUCTED WORK AT ALL TIMES.
9. EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF SHEATHING OR OUTSIDE FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO EDGE OF FRAMING. INSIDE FACE OF MASONRY, OR CENTERLINE OF WINDOW OR DOOR UNLESS OTHERWISE NOTED.
10. CONTRACTOR SHALL COORDINATE WITH OWNER, DESIGN CONSULTANT, AND SEPARATE CONTRACTORS FOR ITEMS FURNISHED AND/OR INSTALLED BY OTHERS FOR EXACT LOCATIONS AND PROPER FIT, AND SCHEDULE THEM FOR WORK.
11. LIMITS OF WORK, CONSTRUCTION BARRIERS, AND SEDIMENT CONTROL FENCES SHALL BE ESTABLISHED AS REQUIRED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. CONTRACTOR SHALL REVIEW LIMITS WITH OWNER AND ESTABLISH POLICIES AND PROCEDURES TO ASSURE CONTINUOUS SAFE USE AND ACCESS TO EXISTING FACILITIES TO REMAIN IN USE THROUGH CONSTRUCTION. CONTROL SHALL INCLUDE CONSTRUCTION ACTIVITIES, MATERIAL AND DEBRIS STORAGE EQUIPMENT STORAGE, AND PARKING.
12. SITE INFORMATION GATHERED FROM WEB GIS AND IS APPROXIMATE - FIELD VERIFY.
13. A PROFESSIONAL ENGINEER SHALL REVIEW ALL PLANS AND DESIGN ALL STRUCTURAL COMPONENTS IN COORDINATION WITH THE CONTRACTOR.

## EXISTING AREA CALCULATIONS:

MAIN LEVEL	
HEATED LIVING SPACE:	951 SQ. FT.
DETACHED GARAGE:	521 SQ. FT.
COVERED FRONT PORCH:	97 SQ. FT.
COVERED BACK DECK:	359 SQ. FT.
SUBTOTAL UNDER ROOF:	1,928 SQ. FT.
OPEN DECK:	67 SQ. FT.

SECOND LEVEL	
HEATED LIVING SPACE:	951 SQ. FT.
COVERED PORCH:	97 SQ. FT.
SUBTOTAL UNDER ROOF:	1,048 SQ. FT.
OPEN DECK:	359 SQ. FT.

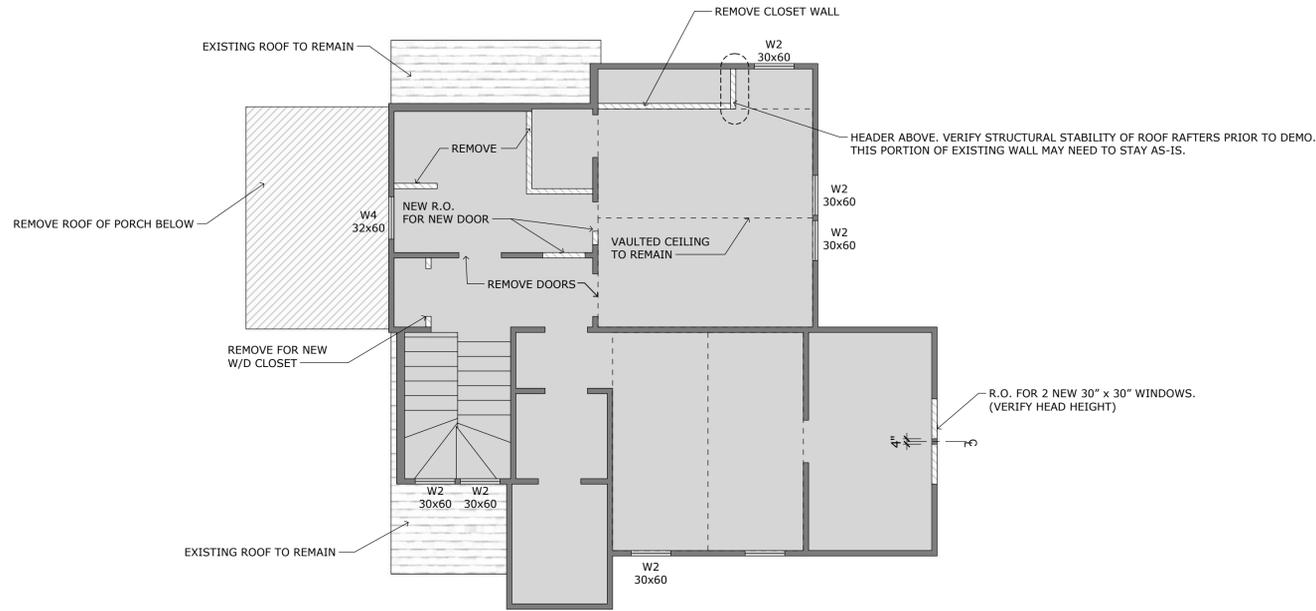
THIRD LEVEL	
HEATED LIVING SPACE:	892 SQ. FT.
SUBTOTAL UNDER ROOF:	892 SQ. FT.

TOTALS	
TOTAL HEATED LIVING SPACE:	2,794 SQ. FT.
TOTAL UNDER ROOF:	3,868 SQ. FT.
OPEN DECK:	426 SQ. FT.



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2. CONTRACTOR TO ENSURE STRUCTURAL STABILITY DURING DEMOLITION.
3. EXACT ROUGH-IN DIMENSIONS FOR WINDOWS AND DOORS TO BE VERIFIED WITH SPECIFIED MANUFACTURERS.
4. ALL DIMENSIONS AND EXISTING CONDITIONS TO BE FIELD VERIFIED.
5. ALL ROOF SLOPES AND OVERHANGS TO MATCH EXISTING AND TO BE WITHIN SETBACK LINES.
6. ALL ROOF AND SIDING MATERIALS TO BE CHOSEN BY OWNER.
7. ALL GUTTERS, DOWNSPOUTS, AND TRIM TO BE INSTALLED WITHIN SETBACK LINES.
8. FIELD VERIFY ALL DIMENSIONS AND CHECK AGAINST PROPOSED PLAN.

**EXISTING AREA CALCULATIONS:**

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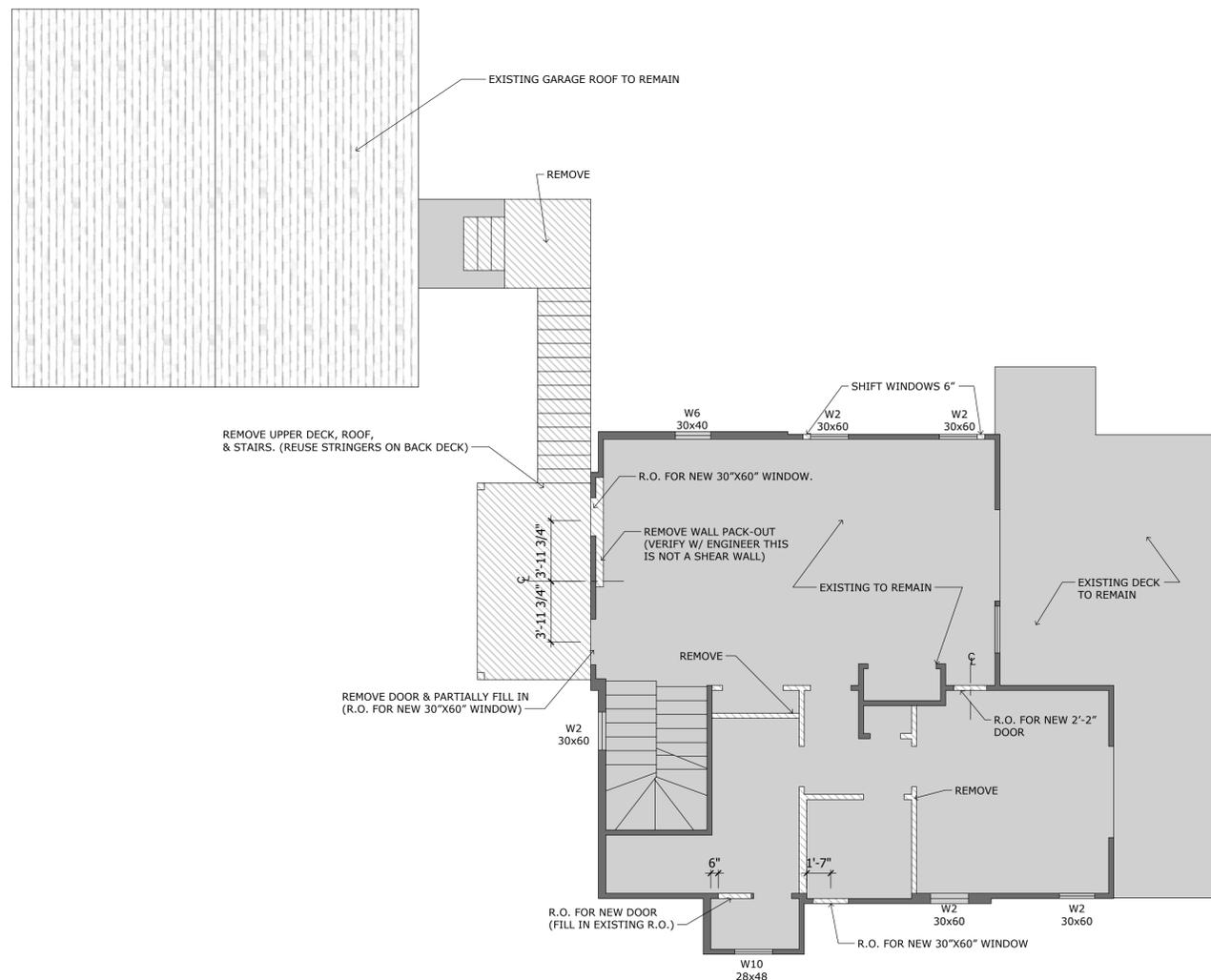
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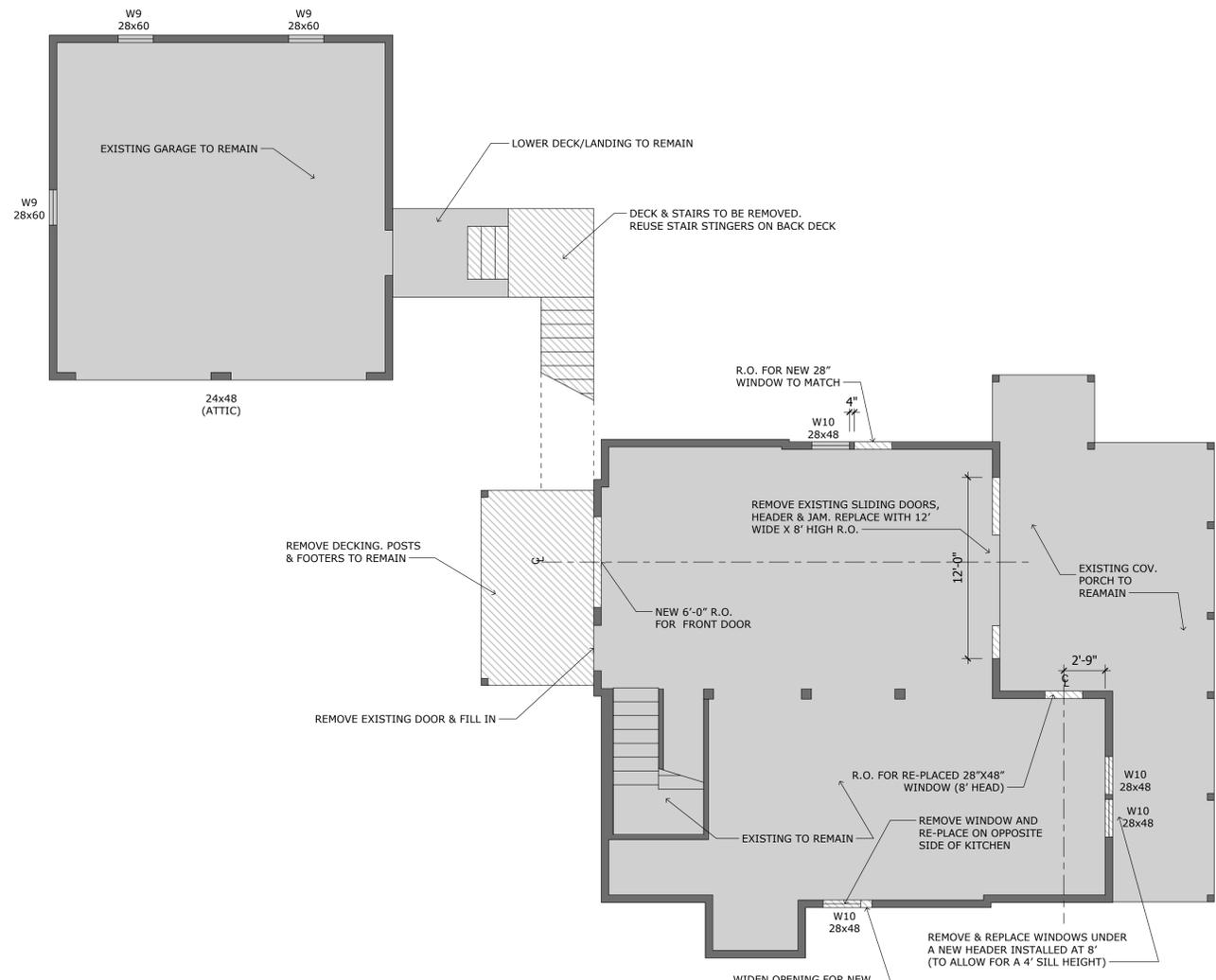
**EXISTING CONDITIONS & DEMOLITION PLAN - THIRD LEVEL**

SCALE: 3/16" = 1'-0"



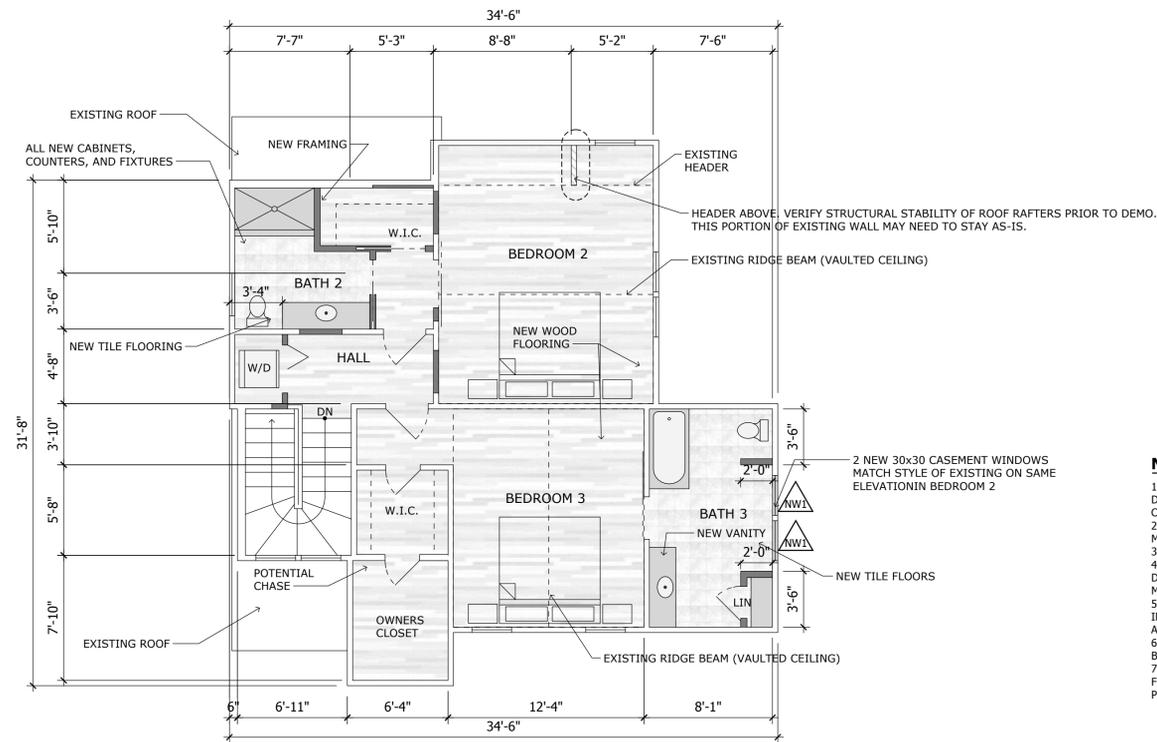
**EXISTING CONDITIONS & DEMOLITION PLAN - SECOND LEVEL**

SCALE: 3/16" = 1'-0"



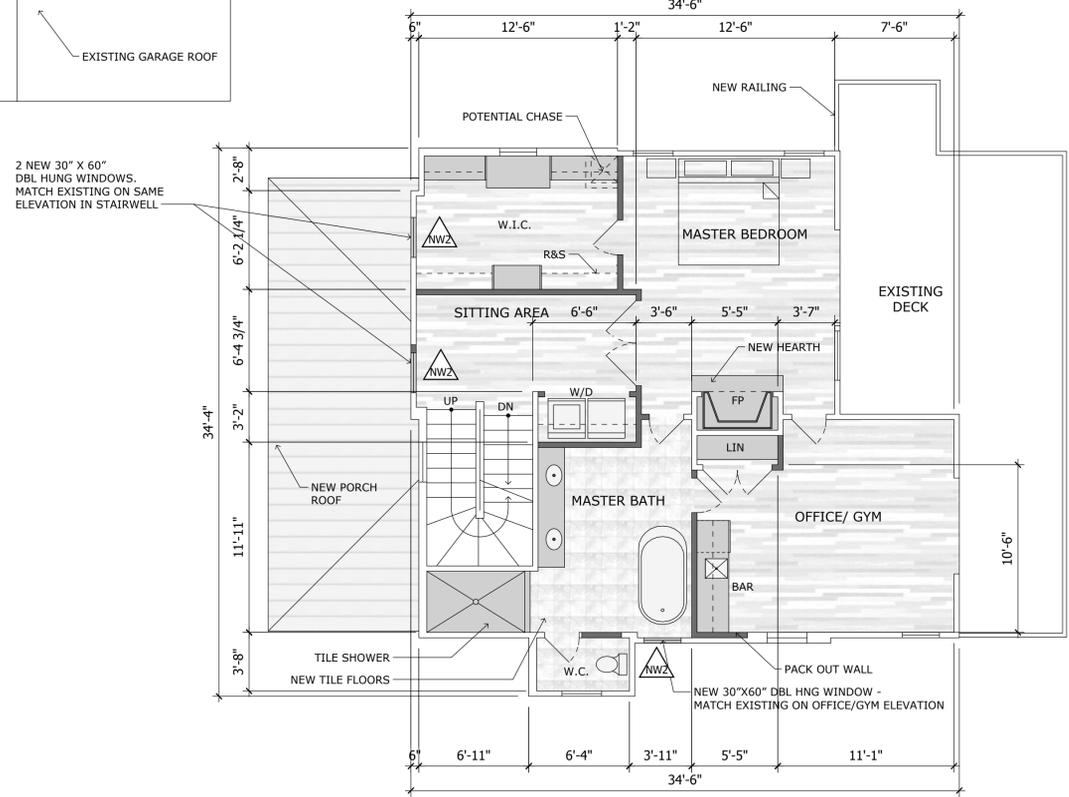
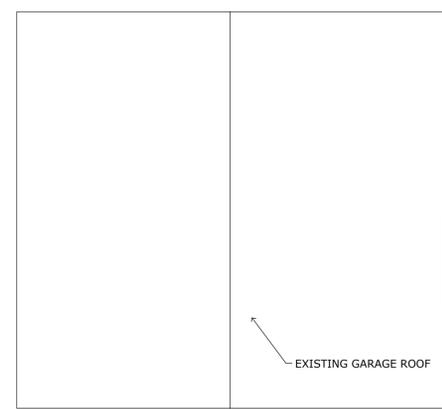
**EXISTING CONDITIONS & DEMOLITION PLAN - MAIN LEVEL**

SCALE: 3/16" = 1'-0"

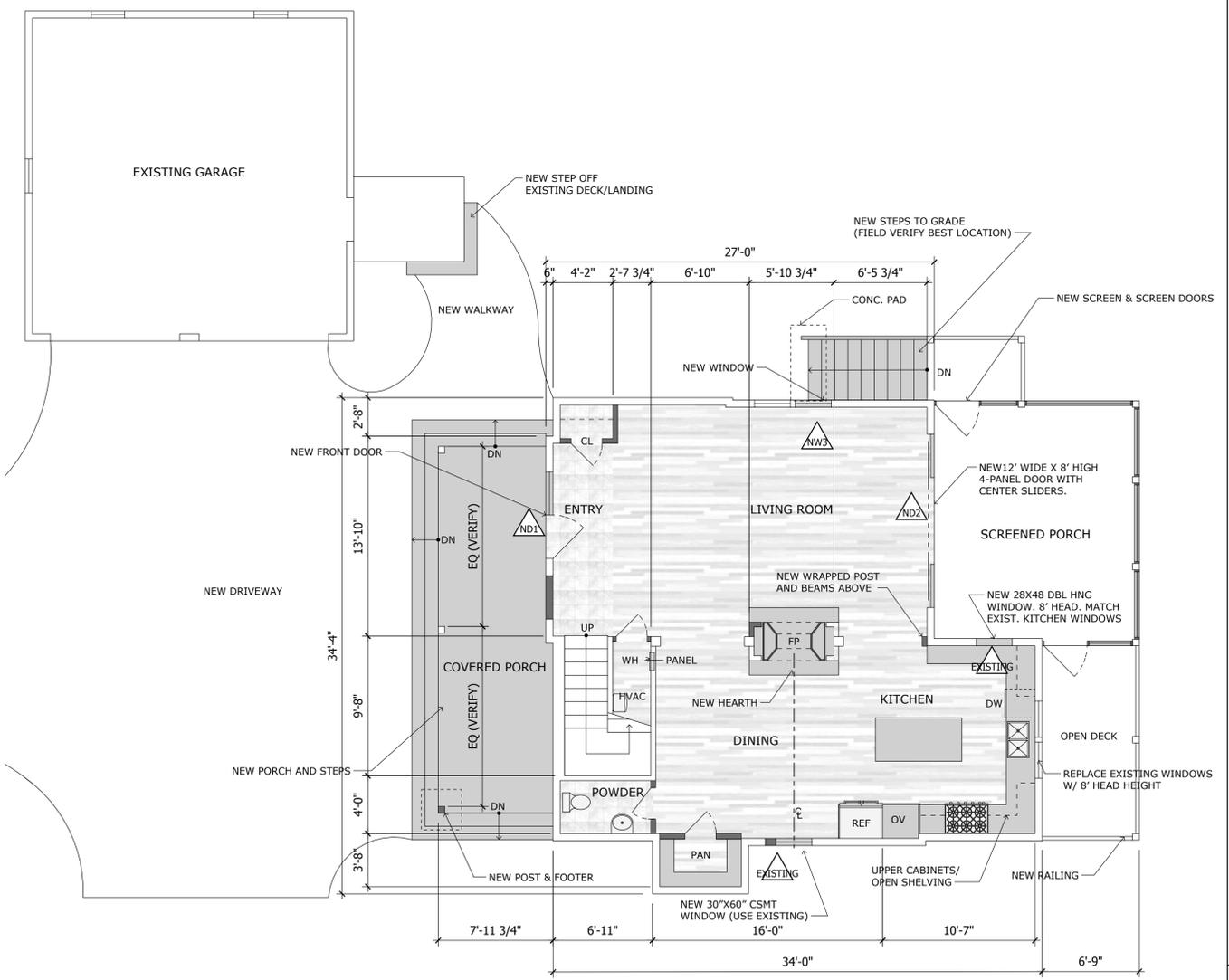


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  2. ALL DIMENSIONS TO FRAMING EDGE, FACE OR MASONRY OR CENTERLINE OF WALL/ROOM.
  3. FURNITURE IS FOR SCALE ONLY.
  4. EXACT ROUGH-IN DIMENSIONS FOR WINDOWS AND DOORS TO BE VERIFIED WITH SPECIFIED MANUFACTURERS.
  5. TYPICAL EXTERIOR DOORS TO BE 3'-0" X 6'-8". INTERIOR PASSAGE DOORS TO BE 2'-8" X 6'-8". CLOSET AND BATH DOORS 2'-2" X 6'-8".
  6. FINISHES, FIXTURES, & EQUIPMENT WILL BE CHOSEN BY OWNER AT A LATER DATE.
  7. EXTERIOR CMU WALLS TO HAVE A PAINTED STUCCO FINISH. ALL EXTERIOR FRAMING WALLS TO HAVE 1/2" PAINTED SIDING.

**PROPOSED FLOOR PLAN - THIRD LEVEL**  
SCALE: 3/16" = 1'-0"



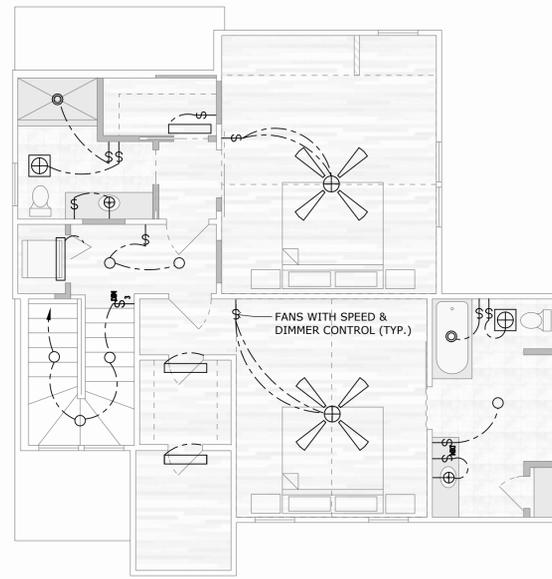
**PROPOSED FLOOR PLAN - SECOND LEVEL**  
SCALE: 3/16" = 1'-0"



**PROPOSED FLOOR PLAN - MAIN LEVEL**  
SCALE: 3/16" = 1'-0"

**NOTES:**

1. ELECTRICIAN TO VERIFY CODE COMPLIANCE
2. FIELD VERIFY ALL DIMENSIONS - DIMENSIONS NOT SPECIFIED ARE ALIGNED WITH EXISTING STRUCTURE OR CENTERED IN A SPACE
3. VERIFY LOCATIONS AND COORDINATE ITEMS SUCH AS VANITY MIRRORS, LIGHTS, OUTLETS, SWITCHES, APPLIANCES & EQUIPMENT WITH OWNER & CONTRACTOR PRIOR TO ANY INSTALLATION.
4. ALL KITCHEN, BATH, AND GARAGE OUTLETS TO BE GFCI
5. ALL FIXTURES SELECTED BY OWNER - VERIFY.
6. ONLY SWITCHED OUTLETS ARE SHOWN. ELECTRICIAN TO INSTALL OUTS IN ACCORDANCE WITH CODE.
7. CLOSET LIGHTS ARE SWITCHED TO THE DOOR OPENING AND ARE MOUNTED ABOVE THE DOOR ON THE INSIDE OF THE CLOSET
8. FOR DESIGN REVIEW & CONSULTATION ONLY. THESE ARE NOT ARCHITECTURAL CONSTRUCTION DOCUMENTS.

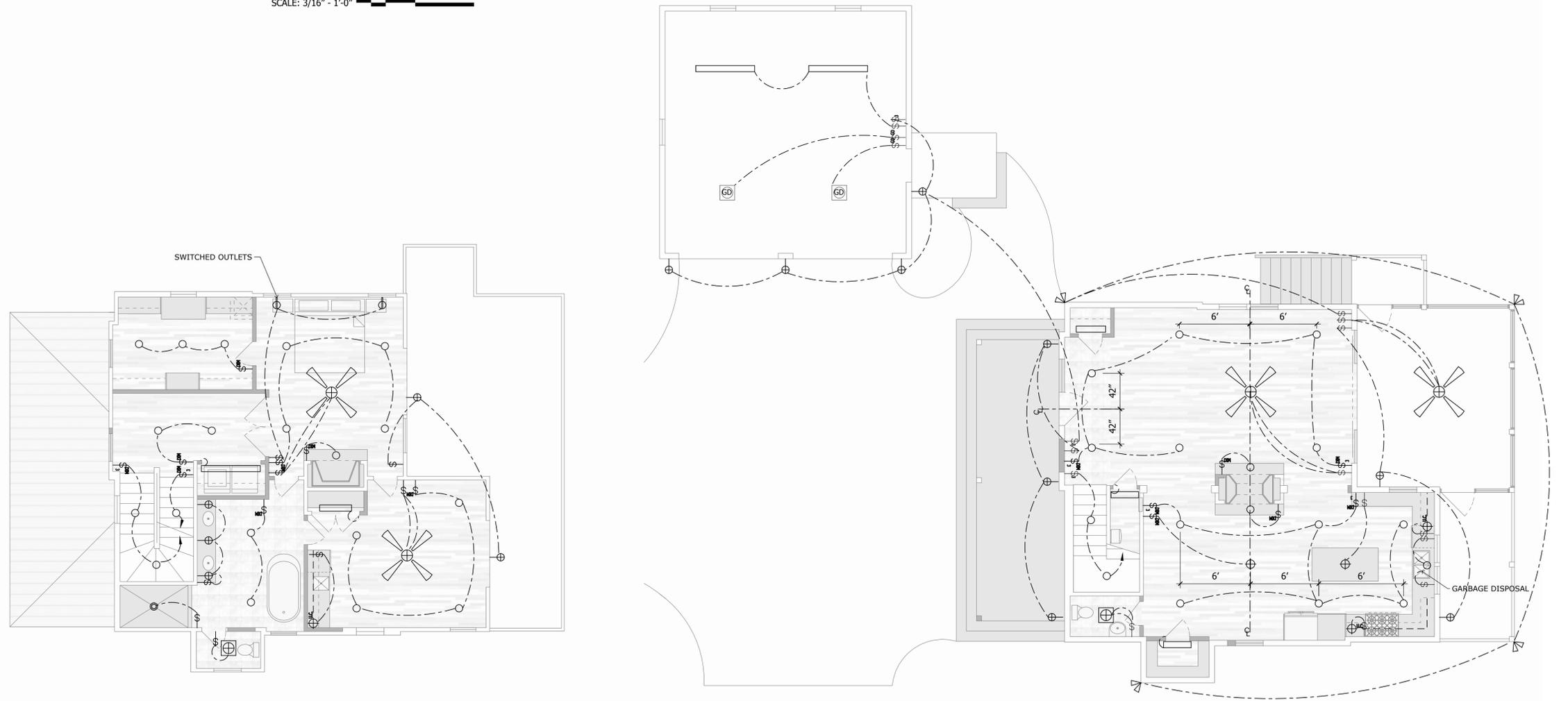


**SYMBOL LEGEND**

	FAN W/ LIGHT KIT		2' FLUORESCENT LIGHT		WALL SWITCH
	BATH VENT WITH LIGHT		4' FLUORESCENT LIGHT		3-WAY WALL SWITCH
	BATH LIGHT		MOTION SENSORED FLOOD LIGHT		DIMMABLE WALL SWITCH
	4" RECESSED LIGHT		DUPLEX OUTLET		GARAGE DOOR SWITCH
	WATERPROOF 4" RECESSED LIGHT		QUADRUPLEX OUTLET		GARAGE DOOR MOTOR & LIGHT
	2" RECESSED LIGHT		240V OUTLET		DATA OUTLET
	PENDANT/CEILING MOUNTED LIGHT		GROUND-FAULT INTERRUPTED OUTLET		
	WALL SCONCE LIGHT		DUPLEX OUTLET INSTALLED 42" A.F.F.		
	WALL SCONCE W/ UP-LIGHT		WATERPROOF DUPLEX OUTLET		
	UNDER-COUNTER LIGHTING		DUPLEX FLOOR OUTLET		

**LIGHTING PLAN - THIRD LEVEL**

SCALE: 3/16" = 1'-0"



**LIGHTING PLAN - SECOND LEVEL**

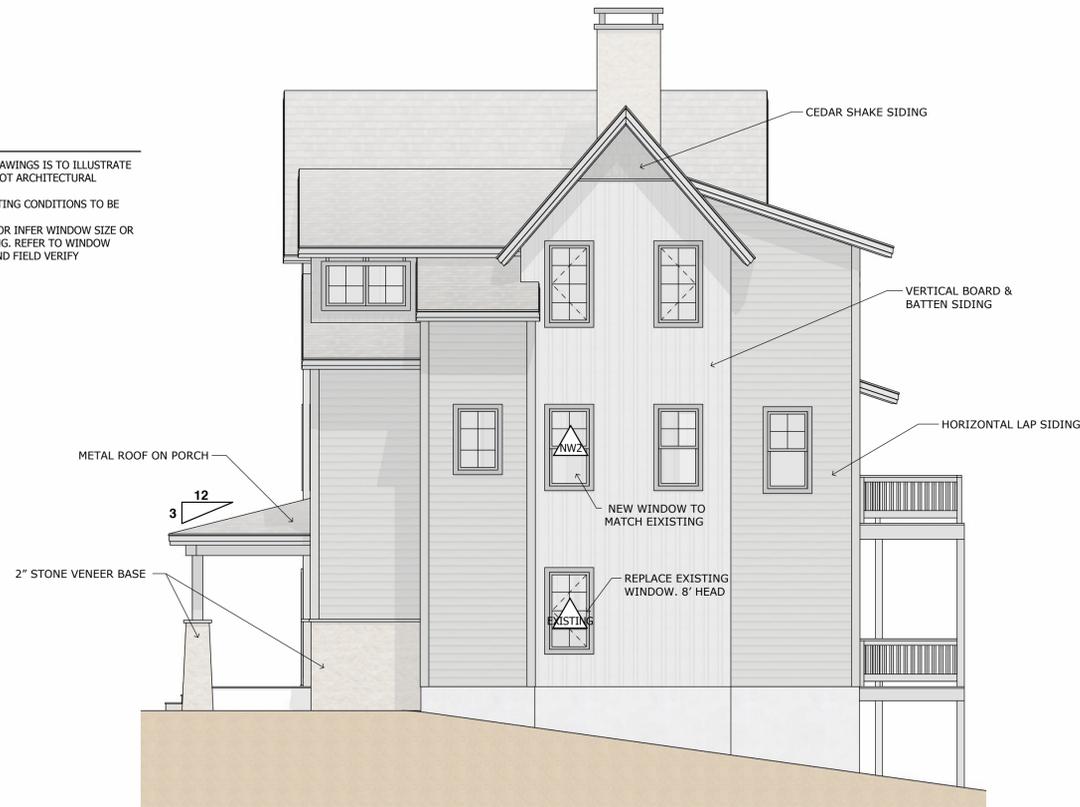
SCALE: 3/16" = 1'-0"

**LIGHTING PLAN - MAIN LEVEL**

SCALE: 3/16" = 1'-0"

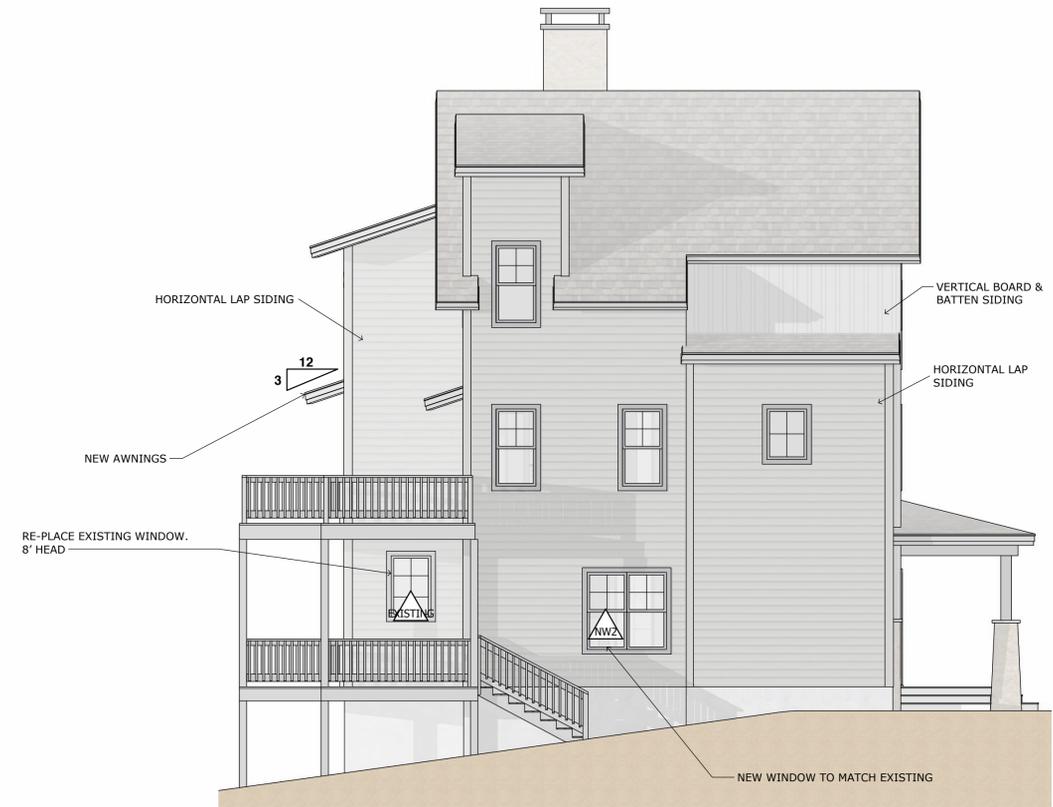
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2. ALL DIMENSIONS AND EXISTING CONDITIONS TO BE FIELD VERIFIED
3. DO NOT SCALE DRAWINGS OR INFER WINDOW SIZE OR STYLE BASED ON THE DRAWING. REFER TO WINDOW SCHEDULE & FLOOR PLANS, AND FIELD VERIFY EVERYTHING.



**RIGHT ELEVATION**

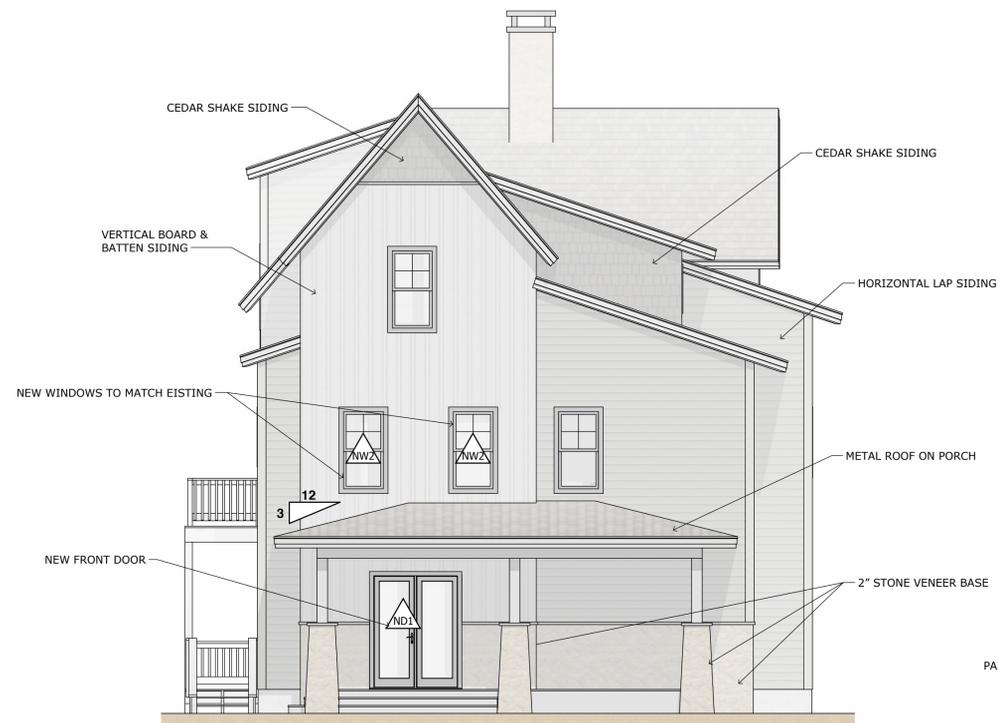
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**LEFT ELEVATION**

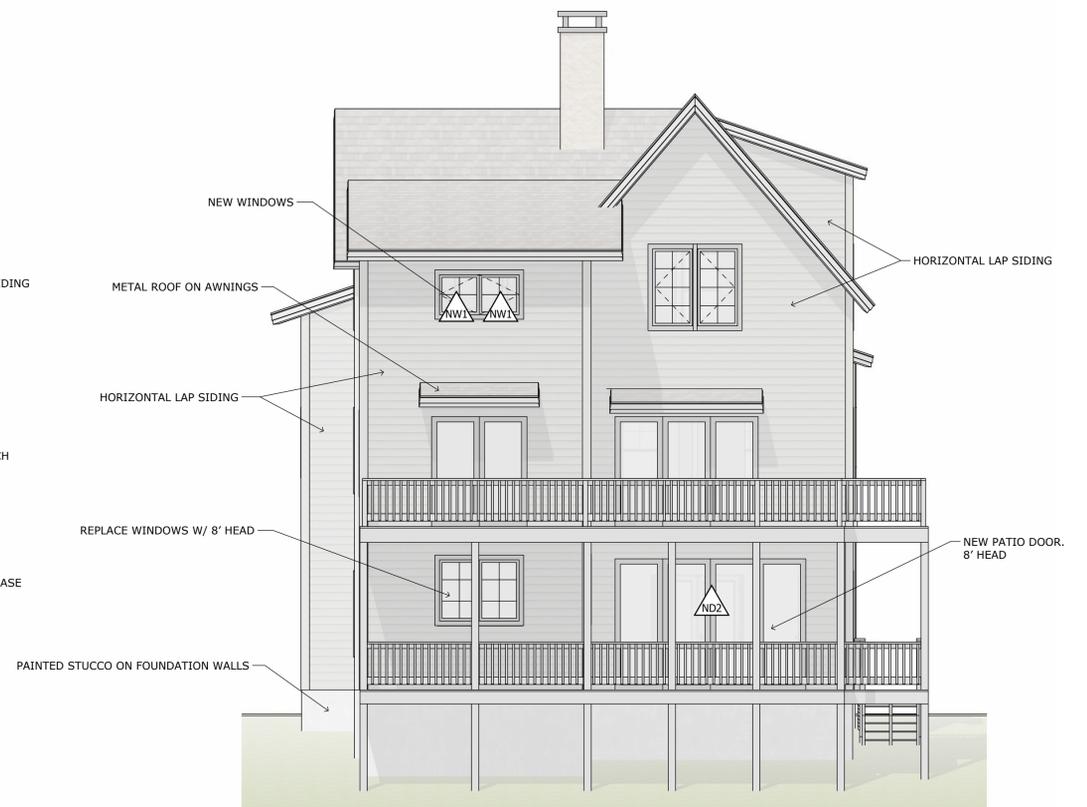
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NEW DOOR & WINDOW SCHEDULE					
△	TYPE/OPERATION	COUNT	W X H	JAM	COMMENT
NW1	CSMNT	2	30" X 30"	VERIFY	THIRD LEVEL, 2'-6" X 2'-6" - VERIFY HEAD - MATCH EXIST. "UPPER LEVEL W2" STYLE
NW2	DBL HNG	4	30" X 60"	VERIFY	FIRST & SECOND LEVEL, 2'-6" X 5'-0" - VERIFY HEAD - MATCH EXIST. "MAIN LEVEL W2" STYLE
ND1	IN-SWING ENTRY	1	72" X 96"	VERIFY	FIRST LEVEL, 2, 3'-0" X 3'-0" - 8' HEAD. SELECTION BY OWNER.
ND2	SLIDING PATIO	1	144" X 96"	VERIFY	FIRST LEVEL, 4, 3'-0" X 8'-0" PANELS - 2 SLIDERS, TWO FIXED. SELECTION BY OWNER.



**FRONT ELEVATION**

SCALE: 3/16" = 1'-0"



**REAR ELEVATION**

SCALE: 3/16" = 1'-0"